

TOWN OF FLETCHER

PRESTON BLAKELY
MAYOR

MARK E. BIBERDORF
TOWN MANAGER



COUNCIL MEMBERS:
JIM PLAYER
TREVOR C. LANCE
KEITH REED
AMBER MCKINNEY

Town Council Agenda Review Meeting September 8, 2026 at 6:00 PM

Call the meeting to order at: 6:00 PM

- 1) Presentation of Proclamation in honor of Ovarian Cancer Awareness Month.

Moment of Silence:

Pledge of Allegiance:

Public Comments:

"We will strive to uphold each citizen's First Amendment right to free speech. We will ensure a level of civility and decorum. We ask that all speakers be respectful and adhere to the three-minute time limit. Council is not expected to debate/discuss issues during public comment."

Approval of minutes - corrections, additions or deletions

- 2) Agenda Review Meeting August 3, 2026
- 3) Regular Meeting August 10, 2026

Council Updates

Consent Agenda

- 4) Tax refunds/releases
- 5) Recommendation of a grant award in the amount of \$8,376.75 for the Stormwater Off-Right-Of-Way Assistance Program.

Discussion Items

- 6) Discussion and review of applications to fill the chairman vacancy on the ABC Board.
- 7) Annual Market visit update with Retail Strategies — Joshua Davis.
- 8) Discussion: Planning Process and Use Text Amendment — Tyler Morrow, Planning and Zoning Director

9) Presentation by Bob Turner regarding concept for an AgTech park.

Town Manager Report

Department Reports

10) August Reports

Adjourn

Upcoming Events

Regular Meeting September 14, 2026, at 6:00 pm

Agenda Review Meeting October 5, 2026, at 6:00 pm

Regular Meeting October 12, 2026, at 6:00 pm

Voting in the council room starts October 15, 2026

Halloween Carnival in the Park October 24, 2026

Fall Food Pantry October 26 thru November 14.

Agenda Review Meeting November 2, 2026, at 6:00 pm

Regular Meeting November 9, 2026, at 6:00 pm

Veteran Salute Breakfast November 7, 2026

Christmas in the Park December 5, 2026

"This Institution is an equal opportunity provider."

A PROCLAMATION DECLARING SEPTEMBER AS OVARIAN CANCER AWARENESS MONTH IN THE TOWN OF FLETCHER

WHEREAS, ovarian cancer is the fifth leading cause of cancer-related deaths among women, profoundly impacting patients, caregivers, and families across our nation and within our own community; and

WHEREAS, public awareness is vital, as there is currently no reliable early detection screening test for ovarian cancer, making knowledge of its subtle symptoms—such as bloating, pelvic pain, difficulty eating, and urinary urgency—the most effective defense; and

WHEREAS, the dedication of advocates, including local survivors and leadership from the National Ovarian Cancer Coalition (NOCC), plays a critical role in educating the public, supporting patients, and honoring the memory of the family members and friends we have lost to this disease; and

WHEREAS, 19-year survivor and NOCC Vice Chair, Debbie Robbins, resides in our community and exemplifies the strength of our citizens and the vital importance of early detection, timely medical care, and continued research; and

WHEREAS, the Town of Fletcher stands united with survivors, families, and medical professionals to raise awareness and improve health outcomes for all women;

NOW, THEREFORE, I Preston Blakely, Mayor of the Town of Fletcher, do hereby proclaim September as **OVARIAN CANCER AWARENESS MONTH** in our community, and urge all citizens to wear teal, learn the symptoms, and support the fight against this disease.

This the 14th day of September 2026.

ATTEST:

Mayor Preston Blakely

Christine Thompson MMC, NCCMC
Town Clerk

Town of Fletcher
Town Council Agenda Review Meeting
Minutes
August 3, 2026

Call the meeting to order at: 6:00 PM

Mayor Preston Blakely
Mayor Pro-Tem Trevor Lance
Council member Keith Reed
Councilmember Amber McKinney
Councilmember Jim Player
Town Manager Mark Biberdorf

Moment of Silence:

No comments were made at this time.

Pledge of Allegiance:

No comments were made at this time.

Public Comments:

Joe Black of 340 Howard Gap Road, Fletcher, commented on cell phone use while driving, and he said that someone who was on their phone the other day while driving and almost ran into him. He stated that cell phone use while driving is not safe.

Approval of minutes - corrections, additions or deletions

Agenda Review Meeting July 6, 2026

Regular Meeting July 13, 2026

No comments were made at this time.

Council Updates

No comments were made at this time.

Consent Agenda

Approval of Resolution R-26-04 to sell surplus property by public auction.

Tax refunds/releases

Mayor Blakely asked if council had any questions on the consent agenda this time.

Council had no comments on the consent agenda.

Discussion Items

Public Evidentiary Hearing: Special Use Permit Review: Focus Plus Academy (26-11-SUP) - Tyler Morrow, Planning & Zoning Director

Mayor Blakely stated that we will have a public hearing next week concerning a special use permit.

Approval of Budget Amendment # 2 for the purchase of garbage truck — Mark Biberdorf, Town Manager

Town Manager Mark Biberdorf stated that this budget amendment is an accounting adjustment necessary to properly recognize both the financing proceeds and the capital expenditure that is associated with this purchase. The cost of the garbage truck is \$391,871.00 and the budget amendment is for \$400,000.00 to help cover acquisition costs.

Discussion Followed:

This item will be moved to the consent agenda for approval next week.

Approval of Budget Amendment # 3 for the purchase of a street sweeper — Mark Biberdorf, Town Manager.

Town Manager Mark Biberdorf stated that this budget amendment appropriates the insurance proceeds, along with additional fund balance to fund the purchase of a replacement street sweeper. The budget amendment is for \$236,000.00.

Discussion Followed:

This item will be moved to the consent agenda for approval next week.

Report on Performance Measures for Town Services - Mark Biberdorf, Town Manager

Town Manager Mark Biberdorf went over the most recent performance measures for department heads in their specific departments.

Discussion Followed:

Update on Cane Creek Greenway Extension Project - Mark Biberdorf, Town Manager

Town Manager Mark Biberdorf stated that this project has been pushed back a little. We were hoping for late summer or early fall to get a design on it. I asked McGill to do an updated timeline on it. The biggest reason is we are still working on the easement on the Fern Leaf property and then the potential of deeding over a section along the creek on the Charlie Owen property. They are both on board and the property has been surveyed. Mr. Owen wanted it

back further to the creek. We had it a bit further south than he was comfortable with. They won't approve the permits on this until they know that the landowner has given an easement or deeded over the property for this.

Discussion Followed:

Town Manager Report

Town Center project: I emailed you all some updates on this. I shared with you our meeting with Lewis Real Estate Group, which are the ones that have had the most experience. They have suggested hiring a land planner to basically update the master plan which updates marketability. They would come back with a budget and timeline as to when this could be done. If they are going to do this, I would want them to come back and talk to you about this. I told them we wanted something back in writing before we engage with them on this.

I did hear back from Dan Merrill with Southeast Capital Partners. They have received good feed back from an anchor tenant, and then they want to bring a site plan back to us.

Library project: I have been continuing to communicate with the county manager on this. He said that I should be anticipating seeing the draft MOU within the next week. I let them know that you all had moved the additional fund balance dedication for the library project. They have put out an RFP and will be meeting on August the 12th and have invited me to participate.

On the Ingles Intersection of Old Airport Road and Hwy 25 that turns left into the parking lot we have had some issues with accidents. In the past, they have made some adjustments to the light but we still have issues there. I talked to the District engineer Steve Cannon, and he asked for more data and the police department is working on this.

Discussion Followed:

Department Reports

July Reports

Adjourn

Mayor Blakely asked for a motion to adjourn.

Councilmember Keith Reed motioned to adjourn, and it was seconded by Councilmember Jim Player.

Motion all in favor.

Adjourned at: 6:54 pm

Upcoming Events

Regular Meeting August 10, 2026, at 6:00 pm
Art in the Park August 14, 2026
Agenda Review Meeting September 8, 2026, at 6:00 pm "Tuesday"
Regular Meeting September 14, 2026, at 6:00 pm
Agenda Review Meeting October 5, 2026, at 6:00 pm
Regular Meeting October 12, 2026, at 6:00 pm
Halloween Carnival in the park October 24, 2026

Approved.

Date

Signed

Town of Fletcher
Town Council Regular Meeting
Minutes
August 10, 2026

Call the meeting to order at: 6:00 PM

Those who were in attendance are as follows:

Mayor Preston Blakely
Mayor Pro-Tem Trevor Lance
Councilmember Keith Reed
Councilmember Jim Player
Councilmember Amber McKinney
Town Manager Mark Biberdorf
Planning & Zoning Director Tyler Morrow

Moment of Silence:

Mayor Blakely led the group in a moment of silence.

Pledge of Allegiance:

Mayor Blakely led the group in the pledge of allegiance.

Public Comments:

Joe Black of 340 Howard Gap Road, Fletcher, commented on the dam under the bridge on Hwy 25 needing repairs and the bushes along Hwy 25 onto Howard Gap Road needing to be trimmed. He said that they were blocking the sight line to be able to see traffic coming. He also said that people were parking in the fire lane at Ingles and that cell phone use while driving is out of control in town.

Julia Fogel of 49 Overton Place, Fletcher commented on the speeding on Hwy 25 and the speed limit needing to be reduced. She suggested 35 mph. She also stated about the traffic on 25 and that years ago she had requested a stop light be placed near their road and that NCDOT denied this request. Things have only gotten busier over the years and, with all the development going on across the street, a traffic light is needed now more than ever. Also, after a recent rainstorm, the stormwater run off from where all the acreage had been cleared right onto 25. I have never seen that much water on 25 in all my years living here. I would like to ask the Fletcher Town council formerly petition NCDOT for an updated traffic signal analysis and to conduct a code enforcement investigation into the developers' stormwater management.

Approval of minutes - corrections, additions or deletions

Agenda Review Meeting July 6, 2026

Regular Meeting July 13, 2026

Mayor Blakely asked for any corrections, additions or deletions to the minutes and, if not, do I have a motion to approve the minutes as presented?

Councilmember Jim Player motioned to approve the minutes and it was seconded by Councilmember Keith Reed.

Motion all in favor.

Council Updates

No comments were made at this time.

Consent Agenda

Approval of Resolution R-26-04 to sell surplus property by public auction.

Tax refunds/releases

Approval of Budget Amendment # 2 for the purchase of garbage truck — Mark Biberdorf, Town Manager

Approval of Budget Amendment # 3 for the purchase of a street sweeper — Mark Biberdorf, Town Manager.

Mayor Blakely asked for any comments or concerns on the consent agenda and, if not, do I have a motion to approve the consent agenda?

Mayor Pro-Tem Trevor Lance motioned to approve the consent agenda and it was seconded by Councilmember Amber McKinney.

Motion all in favor.

Discussion Items

Public Evidentiary Hearing: Special Use Permit Review: Focus Plus Academy (26-11-SUP) - Tyler Morrow, Planning & Zoning Director

Mayor Blakely gave opening statements for this Quasi-Judicial hearing stating that this is like a court hearing and that the state sets specific procedures and rules concerning how the board must make this decision. This decision is not based on public opinion and must be made in accordance with standards set forth in the ordinance and grounded in the evidence presented.

Property located is: Fletcher United Methodist Church 50 Library Road, Fletcher NC 28732

If you plan to speak as a witness, please limit your comments to relevant facts and applicable standards rather than personal preferences or opinions. Participation is limited, and the meeting is open to the public. Parties with standing have rights to participate fully, and present evidence, call witnesses and make legal arguments.

Mayor Blakely then swore in Planning & Zoning Director Tyler Morrow and Applicant Jill Patterson for the hearing.

Planning & Zoning Director Tyler Morrow gave a PowerPoint presentation on the request for special use permit # 26-11-SUP.

Discussion Followed:

Ms. Jill Patterson then gave a PowerPoint presentation on the school (Focus Plus Academy) that the intended permit was for.

Mayor Blakely then asked if anyone had any questions at this time.

There were no questions or comments at this time.

Mayor Blakely then asked if any board member had personal knowledge of additional facts relevant to the case that should be entered into the record.

Council had no additional comments at this time.

Hearing no additional questions or presentation of relevant facts, the board will now begin deliberation. The evidentiary hearing remains open, so the board may ask clarifying questions if needed. As a reminder, this board is tasked with deciding if based on the evidence presented, this proposal meets the applicable standards. This decision cannot be based on the personal preference of board members. Rather, is based on standards and evidence, and board members are encouraged to reference the applicable standards and specific evidence in a deliberation of this particular case. The board is asked to decide if the record includes competent, relevant and substantial evidence that a development is consistent with Article 15.10 and that all nine required criteria for the issuance of the special use permit.

OK, now we need to make a motion to vote and board members be sure to use the suggested motion for approval or denial.

Mayor Pro Tem Trevor Lance motioned to approve the Special Use Permit associated with this petition, finding that the proposed development is consistent with Article 15.10 and that all nine (9) required criteria for the issuance of a Special Use Permit have been met. The development shall be constructed in accordance with the approved site plan, and it was seconded by Councilmember Keith Reed.

Motion all in favor.

Report on Performance Measures for Town Services - Mark Biberdorf, Town Manager

Town Manager Mark Biberdorf stated that I went over the performance measures in depth last week. As a follow-up on some of the public works items as to repairs on fleet maintenance was on 90% being completed within 3 days of work orders being submitted. I spoke with the Public Works Director, and we've had no problem achieving 99% as we feel that this is still an obtainable goal at this time and will not put undue hardship on public works.

Discussion Followed:

Update on Cane Creek Greenway Extension Project - Mark Biberdorf, Town Manager

Town Manager Mark Biberdorf stated that last week he went over a revised timeline that McGill & Associates had provided to extending our green way coming across the Fern Leaf property and going under the Highway 25 bridge and coming up around and then continuing west along Cane Creek. They have completed the concept on this, and we are a little behind on some of the milestones to get this through environmental review and design and then, ultimately, to bid. We have the funding resources in place, but in order to get those we need to settle the easements onto the properties, (Fern Leaf & Charlie Owen properties) and we are getting pretty close to this.

Discussion Followed:

Town Manager Report

Town Manager Mark Biberdorf stated that last week he mentioned on the Town Center project that Lewis Real Estate Group would like to engage a land planner to reevaluate the site. They have started this process and are working on getting a quote and then a budget and timeline for that. We will have to do some type of formal engagement with them since they will be spending a fair amount of money to update the uses and market likelihood for the different things that we would like to see done with the property. We also have a couple of other entities evaluating the property and we are meeting with one group about a potential site plan. Another group has a large anchor tenant but they are trying to site plan our property. Remember we have 49 acres.

Last week I mentioned the library project and our efforts to reengage the county on this. They are working on a memorandum of understanding, and I am waiting on that back from them. They have also set up a request for qualifications for an architect and later this week I'll be at a meeting where they will be evaluating the proposals that have been submitted.

I mentioned to you last week about a traffic safety improvement issue. The intersection where Old Airport Road comes into 25 and the left turn movement into the Ingles parking lot. In the past, we have had a lot of accidents there when it was just the flashing yellow. A couple of years ago, we sent NCDOT a bunch of data that the police department had collected, and they were able to set up a dedicated block of time with a green arrow. We have approached the traffic engineer again about the safety of that intersection and have been asked for more accident data and the police department is getting this together to turn to them.

On the mural, I spoke with Karen Eves Bain of the STEEP agency, and she has been in communication with the owner of the Feed & Seed building who has concerns about the possibility of the building being damaged. She has been discussing this with a brick & mortar expert to help with their assurance that placing a banner/mural on the building will not damage it. She has also been in contact with the owners of Foam & Fabric to meet with them to pitch the idea of a mural on the wall there as well. Public Works has learned this wall is partially in the DOT right of way and we will need their permission as well. Initially, DOT said no, but this can be appealed up the chain of command to get permission for this. Our biggest challenge is making sure the property owners are comfortable with it.

Discussion Followed:

Department Reports

July

Adjourn

Mayor Blakely asked for a motion to adjourn

Councilmember Jim Player motioned to adjourn, and it was seconded by Councilmember Keith Reed.

Motion all in favor.

Adjourned at: 6:51 pm

Upcoming Events

Art in the Park August 14, 2026

Agenda Review Meeting September 8, 2026, at 6:00 pm "Tuesday"

Regular Meeting September 14, 2026, at 6:00 pm

Agenda Review Meeting October 5, 2026, at 6:00 pm

Regular Meeting October 12, 2026, at 6:00 pm

Halloween Carnival in the park October 24, 2026

Approved.

Date

Signed



**TOWN OF
FLETCHER**
Tax Collectors Office

2026 TAX YEAR PENDING RELEASES & REFUNDS

August 2026

Report Month	Year Adj	Rel #	Refnd #	Taxpayer	Reason for Release/Refund	Released Tax Amt	Adj Real Value	Adj Pers Value	REID or Abst #	HC BOC Approval	TOF TC Approval
Aug-26	2024	4		DOUGLAS E FREEMAN	VOIDED - MH DISMANTLED & REMOVED FROM PROPERTY	\$ 12.01	-	(3,901)	2561921	8/3/2026	
	2022	5		BERNARDO DE JESUS GARCIA	VOIDED - MH SOLD, BILLED TO NEW OWNER ON P-0003123175	\$ 28.90	-	(7,727)	504016	8/3/2026	
	2023	6		BERNARDO DE JESUS GARCIA	VOIDED - MH SOLD, BILLED TO NEW OWNER ON P-0003123175	\$ 23.80	-	(7,727)	504016	8/3/2026	
Total August Releases/Refunds						<u>\$ 64.71</u>					

MEMORANDUM

TO: Mayor & Council

FROM: Mark Biberdorf, Town Manager

COPY TO: Heather Taylor, Assistant Town Manager
Jabbo Pressley, Public Works Director

DATE: 9/1/2026

SUBJECT: Recommendation of a grant award in the amount of \$8,376.75 for the Stormwater Off-Right-Of-Way Assistance Program.



Background:

The Town has received an application for grant assistance under the Stormwater Off-Right-Of-Way Assistance Program. Staff is recommending approval of this application in the amount \$8,376.75 per the grant guidelines. A memo and copy of the application providing additional background on the project is attached for Council's review.

Recommendation:

It is recommended that Council approve this grant request.

Attachments:

1. Memo To Council. Stormwater Grant Award. 10 Grove End Rd.
2. Stormwater Grant Application Packet. Council Document. 10 Grove End Rd.

MEMORANDUM

TO: Mayor and Town Council

FROM: Mark E. Biberdorf, Town Manager 

COPY TO: Heather Taylor, Assistant Town Manager
Jabbo Pressley, Public Works Director

DATE: September 1, 2026

SUBJECT: Recommendation of Grant Award for Stormwater Off-Right-of-Way Assistance Program

The Town has received an application from Sarah Harper, who resides at 10 Grove End Road, to perform stormwater improvements on her property. This would be under the Town's grant program called the Stormwater Off-Right-Of-Way Assistance Program. This application has been reviewed and has been determined to be eligible by the grant guidelines and by the review committee.

It is staff's recommendation that a contract be carried out with the property owner to perform the work described in the application. The approved grant award for this project is \$8,376.75.

If Council should have any questions about this item prior to the Agenda Review meeting, please let me know.

MEB/meb

Attachment



STORMWATER OFF-RIGHT-OF-WAY ASSISTANCE PROGRAM
Exhibit A

Property Location 10 Grove End Rd
Fletcher, NC 28732

Nature of Problem Drainage from a storm pipe is no
longer flowing down the appropriate space and
is now flooding the back yard

Proposed Treatment Remove tree's that are "down stream" so
drainage can be re-directed appropriately.
Install check dam using Class B riprap at lower end
of ditch. Install class B riprap at upper end of
property to slow water entering ditch.

Total Estimated Cost (Please attach itemized estimates) \$ 9,980

Expenses shall be shared in the following manner:

☒ A single participant shall incur all expenses.

☐ Expenses shall be divided equally among all participants.

☐ Expenses shall be prorated according to street frontage.

☐ Expenses shall be prorated according to property length.

☐ Other (please describe) _____

We the undersigned hereby apply for a Stormwater Off-Right-Of-Way Assistance Grant from the Town of Fletcher. By signing this form, we acknowledge the following:

- The proposed storm drainage improvement is being made under control of private property owners. The subject drainage way is neither owned nor controlled by the Town, and at this time is not part of a Town-maintained drainage system.
- Upon completion of the project, property owners shall continue to maintain the drainage facilities located on their respective properties. Maintenance includes but is not limited to: using reasonable diligence to keep pipes and ditches free of obstructions and uncontrolled vegetation; removal of litter and debris; repair of erosion or structural failure.
- We have read the standard agreement and agree to abide by its terms.
- We agree to pay our respective share of the project to be determined prior to the awarding of the grant.

Jane Harper
Applicant(s) Printed Name

Jane Harper
Applicant(s) Signature

7/26/26
Date

Sarah Harper
Applicant(s) Printed Name

Sarah Harper
Applicant(s) Signature

7/26/26
Date

Applicant(s) Printed Name

Applicant(s) Signature

Date



NICE DIGS EXCAVATION LLC

WORK ORDER & CUSTOMER AGREEMENT

Project name	Sarah Harper	Notes
Project address	10 Grove End Road Fletcher, NC 28732	*locate underground utilities before scheduling, 811*
Start date	TBD	

DESCRIPTION		AMOUNT
Remove row of trees behind house, leave tree material on-site		\$
Dig ditch along property line - Install check dam using Class B Riprap at lower end of ditch to slow water exiting the ditch (see sketch) - Install Class B Riprap at upper end of property to slow water entering the ditch (see sketch)		\$
		\$
		\$
TOTAL		\$9,307.50
A deposit of	\$4,654	Is required to begin work. (50%)

The balance of the agreed upon fee is due immediately upon project completion via Cash (USD), Zelle or Check. Returned payments are subject to a \$35 returned payment fee in addition to accrued interest & applicable administrative fees. Credit cards are accepted with an additional 3.5% fee.

This Work Agreement (the "Agreement") is made and entered into on the date of execution by and between the listed parties (the "Parties"), including NICE DIGS EXCAVATION LLC, a North Carolina business, hereinafter referred to as "Contractor," and the customer listed, hereinafter referred to as "Client". Contractor agrees to perform the scope of work and services as mutually agreed upon in writing at the rate and terms specified in this Agreement. Contractor shall provide all necessary labor, tools, equipment, and materials (unless otherwise specified) to complete the work in a timely and professional manner in accordance with industry standards and applicable regulations. Contractor will make every reasonable effort to begin and complete the agreed-upon work according to the estimated timeline. Delays due to weather, availability of materials, changes requested by the Client, or other unforeseen circumstances may affect scheduling. If a delay occurs that is not the fault of the Contractor, Contractor shall not be held liable for any losses, and any additional time or cost required due to such delay may be added to the scope of work upon written approval by the Client. This Agreement also serves as an invoice for payment. Failure to pay within five (5) business days of the agreed payment schedule will result in a \$50 administrative fee and will accrue interest at a 2% monthly rate (compounded daily at 0.066%) until paid in full. In the event of non-payment, Contractor reserves the right to file a mechanic's lien or other applicable lien against the property in accordance with North Carolina General Statutes. NOTICE TO OWNER: Any person or company supplying labor or materials for this improvement to your property may file a lien against your property if they are not paid. Contractor may also file a claim of lien on real property if payment is not received in accordance with this agreement. To avoid this, ensure you receive lien waivers from Contractor and any subcontractors or suppliers as you make payments. Contractor may also seek recovery of costs, legal fees, and filing fees associated with enforcing lien rights or other collection methods, as allowed by law. Client shall maintain insurance on the property during the time work is being performed. Client agrees to provide access to the worksite and clear communication throughout the project. Contractor shall not be held liable for any damages or injuries caused by unsafe site conditions, hidden underground hazards, or pre-existing structural issues. Contractor shall not be liable for damage to lawns, grass, or landscaping resulting from performance of the work. Contractor is not responsible for delays caused by permit issues, third-party vendors, or required inspections. Contractor provides no warranty beyond what is required by law and is not liable for incidental or consequential damages. Any warranty, if offered, must be in writing and signed by both parties. This Agreement does not cover damage due to misuse, lack of maintenance, or acts of nature. If a dispute arises under this Agreement, both parties agree to attempt to resolve the issue through communication and negotiation. If legal action becomes necessary, the prevailing party shall be entitled to recover legal fees and collection costs. This Agreement is governed by the laws of the State of North Carolina and venue of the courts of Buncombe County and city of Asheville. IN WITNESS WHEREOF, the parties have executed this Agreement:

CLIENT		CONTRACTOR	
☐ I am the legal owner of this property and authorize this work to be done.		Company	NICE DIGS EXCAVATION LLC
Signature		Signature	
Print name		Print name	COLIN REEF
Address		Title	MANAGING MEMBER
Phone		Phone	(828) 222-7984
Email		Email	colin@nicedigsavl.com

Install Rip Rap Check Dam

Nice Dig's Excavation, LLC

✓ (class B)

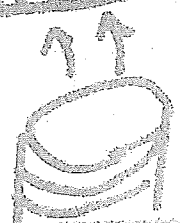
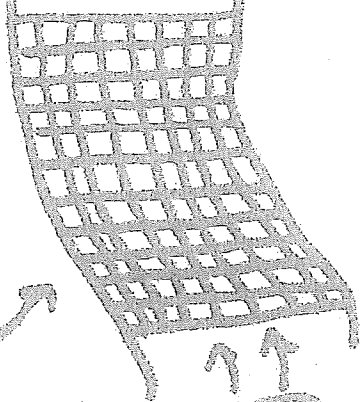
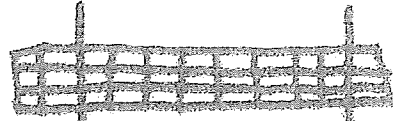
Drainage Ditch

0 0 0 0 0 0 0

Remove trees
& stumps



Install Rip Rap spillway
(class B)



House

10 Grove End Road

Access
Hole ↓

RECEIVED
9-5-26



Application for Appointed Boards/Commissions/Committees Fletcher Town Council

The Town of Fletcher Town Council believes that all citizens should have the opportunity to participate in governmental decisions. One way of participating is by serving as a citizen member of one of the Town's various boards. If you wish to be considered for an appointment to a board, please complete the information below and return it to the Town Clerk at 300 Old Cane Creek Road, NC 28732. For more information you may contact Town Hall at (828) 687-3985.

Name: Laura "Akasha" Nickolas

Home Address: 21 Redmond Dr. Fletcher, NC 28732

My residence is located with the Town of Fletcher city limits: ☒ Yes ☐ No (circle one)

How long have you lived in Fletcher: 3

E-mail Address: akashanickolas@gmail.com

Home Phone: 252-489-5624 Work Phone: 828-772-9527

Occupation: I own WagWorld Years in Position: 2

It is the Town Council's goal to maintain a balance of membership on its Boards/Commissions or Committees based on race, gender and voting district residency.

Voting District Fletcher Male Female x
Race: White x Black Hispanic Native American
Other

Have you been convicted on any formal charge of professional misconduct, criminal misdemeanor or a felony in any jurisdiction?

Yes _____ No ☒ If yes please explain disposition.

Board(s) / Committee(s) Interested In: (Please list in order of preference)

1. ABC Board
2. _____
3. _____

What do you feel are your qualifications for serving on the board requested?

As a local hospitality business owner and ABC permittee, I bring firsthand knowledge

of responsible alcohol service, regulatory compliance, purchasing inventory, customer

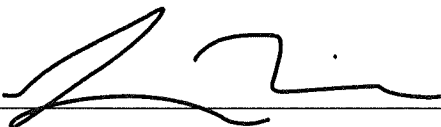
service and the challenges of facing small businesses in our community. I also understand

that an ABC Board has a responsibility that goes far beyond alcohol sales - it must operate

responsibly, transparently and in a way that benefits the community it serves. I believe that I bring that.

I understand this application is public record and I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize and consent to the background checks and to the investigation and verification of all statements contained herein as deemed appropriate. I further authorize all information concerning my qualifications to be investigated and release all parties from all liability for any damages that may result from this investigation. I understand and agree that any misstatement may be cause for my removal from Board/Commission/Committee. I understand regular attendance to any Board/Commission/Committee meeting is important and accordingly, I further understand that if my attendance is less than the standards established for any body that this is cause for removal. Lacking any written standards for attendance by any Board/Commission/Committee it is expected that I will attend at least 75% of all meetings during any one calendar year to maintain my seat on any

Board/Commission/Committee to which I may be appointed. This form will remain on file in the Office of the Town Clerk and requests for updates will be sought prior in any consideration for re-appointment (or future appointment) to any Board/Commission/Committee.

Signature:  Date: 8/4/2026

.....
Office Use Only:

Date Received: 8-5-26

Current year due in the
amount of: \$ 1,881.00

Date Forwarded to Council: _____

RECEIVED
8-14-26



Application for Appointed Boards/Commissions/Committees Fletcher Town Council

The Town of Fletcher Town Council believes that all citizens should have the opportunity to participate in governmental decisions. One way of participating is by serving as a citizen member of one of the Town's various boards. If you wish to be considered for an appointment to a board, please complete the information below and return it to the Town Clerk at 300 Old Cane Creek Road, NC 28732. For more information you may contact Town Hall at (828) 687-3985.

Name: Michael D. Franklin

Home Address: 737 Jackson Road Fletcher NC 28732
My residence is located with the Town of Fletcher city limits: (Yes) No (circle one)

How long have you lived in Fletcher: 43 years

E-mail Address: mikie2xs@yahoo.com

Home Phone: 828 684 5676 * cell Work Phone: 828-551-5686

Occupation: Retired Years in Position: _____

It is the Town Council's goal to maintain a balance of membership on its Boards/Commissions or Committees based on race, gender and voting district residency.

Voting District Fletcher T.H. Male ☒ Female _____
Race: White ☒ Black _____ Hispanic _____ Native American _____
Other _____

Have you been convicted on any formal charge of professional misconduct, criminal misdemeanor or a felony in any jurisdiction?

Yes _____ No ☒ If yes please explain disposition.

Board(s) / Committee(s) Interested In: (Please list in order of preference)

1. ABC BOARD
2. _____
3. _____

What do you feel are your qualifications for serving on the board requested?

As a dedicated RESIDENT of Fletcher, I am deeply
INTERESTED in SERVING our COMMUNITY. I CURRENTLY
SERVE AS VICE-CHAIR of the Town's Planning Board. I
WANT to help MANAGE local OPERATIONS RESPONSIBLY AND
SUPPORT SMART business DECISIONS for our TOWN. I AM
READY to commit my time to this position AND WORK
COLLABORATIVELY with fellow board MEMBERS AND Town Council.

I understand this application is public record and I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize and consent to the background checks and to the investigation and verification of all statements contained herein as deemed appropriate. I further authorize all information concerning my qualifications to be investigated and release all parties from all liability for any damages that may result from this investigation. I understand and agree that any misstatement may be cause for my removal from Board/Commission/Committee. I understand regular attendance to any Board/Commission/Committee meeting is important and accordingly, I further understand that if my attendance is less than the standards established for any body that this is cause for removal. Lacking any written standards for attendance by any Board/Commission/Committee it is expected that I will attend at least 75% of all meetings during any one calendar year to maintain my seat on any

Board/Commission/Committee to which I may be appointed. This form will remain on file in the Office of the Town Clerk and requests for updates will be sought prior in any consideration for re-appointment (or future appointment) to any Board/Commission/Committee.

Signature: Michael D. Stenkel Date: Aug. 7, 2026

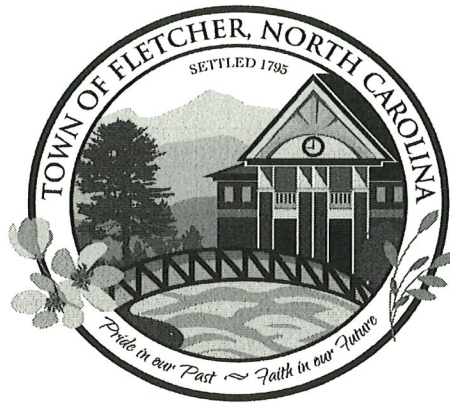
.....
Office Use Only:

Date Received: 8-14-26

9945220
no past due taxes

Date Forwarded to Council: _____

RECEIVED
8-3-26



Application for Appointed Boards/Commissions/Committees Fletcher Town Council

The Town of Fletcher Town Council believes that all citizens should have the opportunity to participate in governmental decisions. One way of participating is by serving as a citizen member of one of the Town's various boards. If you wish to be considered for an appointment to a board, please complete the information below and return it to the Town Clerk at 300 Old Cane Creek Road, NC 28732. For more information you may contact Town Hall at (828) 687-3985.

Name: Brian Heath Scoggin

Home Address: 237 Windsor Forest Circle, Fletcher NC 28732

My residence is located with the Town of Fletcher city limits: Yes No (circle one)

How long have you lived in Fletcher: 5 days...New Resident

E-mail Address: heath.scoggin@gmail.com

Home Phone: 1.717.333.1005 Work Phone: _____

Occupation: Retired, President & Board Member Years in Position: 1

It is the Town Council's goal to maintain a balance of membership on its Boards/Commissions or Committees based on race, gender and voting district residency.

Voting District District 4 Male X Female _____
Race: White X Black _____ Hispanic _____ Native American _____
Other _____

Have you been convicted on any formal charge of professional misconduct, criminal misdemeanor or a felony in any jurisdiction?

Yes _____ No X If yes please explain disposition.

Board(s) / Committee(s) Interested In: (Please list in order of preference)

1. Fletcher ABC Board
2. _____
3. _____

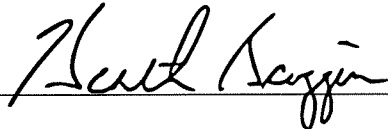
What do you feel are your qualifications for serving on the board requested?

Demonstrated experience in Executive Management roles with Phoenix Contact where I
served as President and Member of the Executive Board prior to my early retirement in
June 2025. Experience with P&L responsibility with ability to build and lead diverse

Teams to establish strategy and achieve goals (linkedin.com/in/heathscoggin)

I understand this application is public record and I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize and consent to the background checks and to the investigation and verification of all statements contained herein as deemed appropriate. I further authorize all information concerning my qualifications to be investigated and release all parties from all liability for any damages that may result from this investigation. I understand and agree that any misstatement may be cause for my removal from Board/Commission/Committee. I understand regular attendance to any Board/Commission/Committee meeting is important and accordingly, I further understand that if my attendance is less than the standards established for any body that this is cause for removal. Lacking any written standards for attendance by any Board/Commission/Committee it is expected that I will attend at least 75% of all meetings during any one calendar year to maintain my seat on any

Board/Commission/Committee to which I may be appointed. This form will remain on file in the Office of the Town Clerk and requests for updates will be sought prior in any consideration for re-appointment (or future appointment) to any Board/Commission/Committee.

Signature:  Date: 8 - 2 - 2026

.....
Office Use Only: *rental*
current due \$1,427.00
Date Received: 8-3-26
Date Forwarded to Council: _____



Try Premium for \$0



Heath Scoggin

Retired Executive Board Member and President Business Area Device Connectors

Retired · Washington University in St. Louis - Olin Business School

Browns Summit, North Carolina, United States · [Contact info](#)

Connect

Message

More

About

Experienced Business Leader with demonstrated success working in the industrial automation industry. Skilled in Manufacturing, Management, Account Management, Continuous Improvement, Product Development and Product Management. Strong operations professional graduated with honors from Washington University in St. Louis - Olin Business School.

Activity

606 followers

[+ Follow](#)

Heath Scoggin commented on a post · 3mo

Best wishes to you Ben!!

Heath Scoggin commented on a post · 4mo

Best wishes in your new role, Robert!

Manager, Product & Market Development

2004 - May 2005 · 1 yr 5 mos

Responsible for the Global High Speed Fuse Business Unit including Product Management, Engineering, and Production.

Senior Product Manager

2003 - 2004 · 1 yr

Responsible for the Global Molded Products segment, which included Fuse Holders, Power Distribution Blocks, Barrier Terminal Blocks, and Accessories.

Engineering Manager, Telecom

1998 - 2003 · 5 yrs

Responsible for the World-wide Product Development and Marketing of fusible protection products and disconnects for the Global Telecom DC Power Market.

Design Engineer

1995 - 1998 · 3 yrs

Responsible for the development and production implementation of fusible protection products and disconnects for the Global Telecom DC Power Market.

Manufacturing Development Program Participant

1993 - 1995 · 2 yrs

Six-month Rotational Assignment Program lasting 2-years in various divisions of Cooper Industries
- Manufacturing Engine... more

Education



Washington University in St. Louis - Olin Business School

MBA, Business Administration and Management, General

2003 – 2004

Activities and societies: Betta Gamma Sigma

Recipient of the Washington University Olin School of Business C. William Emory Executive MBA Award



North Carolina State University

BSEE, Electrical Engineering

1988 – 1993

Activities and societies: IEEE

Show all 3 educations →

Understanding Short Circuit Currents in DC Power Systems

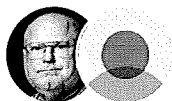
IEEE · Dec 10, 2002

Show publication 

Abstract

... more

Other authors



Patents (6)

Compact Fused Disconnect Switch

US 7,385,518 · Issued Jun 10, 2008

Compact Fused Disconnect Switch

US 7,049,973 · Issued May 23, 2006

Show all →

Honors & awards

C. William Emory Executive MBA Award

Issued by Washington University in St. Louis · Jul 2004



Associated with Washington University in St. Louis - Olin Business School

Awarded to the graduating EMBA student who in the opinion of the faculty and administration best exemplifies qualities of scholarship, character, and leadership, and who also enjoys the respect, admiration, and affection of the

Organizations (4)

PADI (Professional Association of Diving Instructors)

Open Water Scuba Instructor and Emergency First Responder Instructor · Nov 2015 – Present



Jack N.  · 3rd+

Retired President at Phoenix Contact USA | Host "Hey Jack" Leadership Reflections Podcast | Champion of Positive Leadership | Family Centered | Experienced/Active Board Member | Sports Lover | Boater | Almost Vegan |

+ Follow



Davis Mathews  · 3rd+

Leadership | Technology and Innovation @ Phoenix Contact | car enthusiast | soccer fan | building towards a positive future

+ Connect



Louis Grice  · 3rd+

Executive with expertise in connecting digital transformation, strategic analysis, smart manufacturing, and sustainability to outstanding business outcomes.

+ Follow



Chris Powers  · 3rd+

Engineering Lab Technician at Amphenol Communications Solutions Alumni of NASA L'SPACE Mission Concept Academy (MCA)

+ Connect

Show all →

People you may know

From Heath's school



Sarra Puzankova  · 3rd+

Contracts @ The Boeing Company

+ Connect



李菲 Steffi Li  · 3rd+

Global People BP Head, Digital

+ Connect



Sridharan Gopalsamy Ramaswamy, MPH, MBA  · 3rd+

MPH/MBA @ WashU | Life Sciences Strategy · Real-World Evidence · Healthcare Analytics | Open to Roles May 2026

+ Connect



Aathif S.  · 3rd+

Commercial Sales Manager at Digital Realty | Washington University MBA with an emphasis on Digital Transformation

Careers

Marketing Solutions

Privacy & Terms ▼

Ad Choices

Advertising

Sales Solutions

Mobile

Small Business

Safety Center

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English (English) ▼

MEMORANDUM

TO: Mayor & Council

FROM: Joshua Davis

COPY TO: Heather Taylor, Assistant Town Manager
Tyler Morrow, Planning & Zoning Director

DATE: 9/1/2026

SUBJECT: Annual Market visit update with Retail Strategies — Joshua Davis.



Background:

Joshua Davis with Retail Strategies will provide a PowerPoint presentation on the work of their firm with the Town of Fletcher. Retail Strategies is the firm that the Town engaged two years ago to work on retail recruitment and analysis.

Recommendation:

This is an information only item.

Attachments:

None

MEMORANDUM

TO: Honorable Mayor and Town Council
FROM: Tyler Morrow, Planning & Zoning Director
COPY TO:
DATE: 9/8/2026
SUBJECT: Discussion: Planning Process and Use Text Amendment — Tyler Morrow,
Planning and Zoning Director



Background:

At the direction of Mayor Blakely, staff has been asked to evaluate potential amendments to the Land Development Code regarding the approval processes required for various land uses.

Recommendation:

Attachments:

1. SUP vs. CZD Discussion- September 2026 Town Council

Process and Use Text Amendment Discussion

At the direction of Mayor Blakely, staff has been asked to evaluate potential amendments to the Land Development Code regarding the approval processes required for various land uses. The table below includes the uses currently identified in the Land Development Code and the type of approval required for each use within the applicable zoning district.

Before preparing a formal text amendment, staff would like to have an open discussion with Town Council regarding the intent of these potential changes. The purpose of this discussion is to ensure that any proposed amendments reflect Council's vision for how different types of development applications should be reviewed and approved.

Please do not feel the need to go through each land use individually or feel that you have to provide feedback on every specific use. The feedback can be more wide ranging, such as "we want multifamily projects to go through this process" or "we want utility projects to go through this process," and so on. If Council is interested in providing feedback on specific land uses, I would be more than happy to go through it that way as well.

I mainly want to make sure I understand Council's preference before I start working on the amendment so that I can bring forward something that reflects Council's goals and vision.

The Land Development Code currently identifies uses through the following approval categories:

P: Permitted Use. The use is reviewed administratively by staff and does not require additional use specific approval standards.

PS: Permitted Subject to Additional Standards. The use is generally reviewed administratively by staff but must comply with the applicable additional standards contained in Chapter 3.

SUP: Special Use Permit. The proposed use requires approval through the Special Use Permit process established in Chapters 3 and 15. This is a quasi judicial process that currently includes review by the Planning Board and Town Council. Approval is specific to the proposed use and site plan.

CZ: Conditional Zoning. Conditional zoning is a legislative zoning process reviewed and approved by Town Council. Currently, the use table identifies conditional zoning only applies for the Shopping Center, Community Center use. Approval is specific to the proposed site plan and the use or uses approved by Town Council. Uses or development outside the scope of the approved conditional zoning are not permitted.

—: Not Permitted. The use is not permitted within the applicable zoning district.

Potential Changes for Discussion

Staff understands that Council may prefer to convert a number of uses currently requiring Special Use Permits to a Conditional Zoning process. Doing so would shift those applications from a quasi judicial decision making process to a legislative zoning process, which provides Council with greater discretion to consider broader land use and policy considerations.

Simply converting all SUP uses to conditional zoning would be a relatively straightforward text amendment. However, staff recommends discussing the intended approach before preparing an amendment because the two processes serve different purposes. Certain uses may remain appropriate for the SUP process, while others may be better suited to conditional zoning.

Special Use Permits

A Special Use Permit is generally appropriate when the Land Development Code has already determined that a particular use may be appropriate within a zoning district, provided that the proposal satisfies established standards.

The SUP process is quasi judicial. The reviewing board applies the standards contained in the Land Development Code to the evidence presented for a particular application. Fletcher's current ordinance contains nine criteria that must be considered when reviewing an SUP.

Generally, when an applicant demonstrates through competent, material, and substantial evidence that the applicable standards have been satisfied, the applicant is entitled to approval. The decision cannot be based solely on whether Council, staff, or neighboring property owners support or oppose the proposed project.

The fundamental question presented by an SUP is:

"The zoning ordinance already says this use is potentially appropriate here. Does this particular proposal satisfy the standards we adopted for allowing it?"

For this reason, an SUP should not function as a miniature rezoning hearing. Its purpose is to determine whether a particular proposal satisfies the standards already established by the Town.

Conditional Zoning

Conditional zoning serves a different purpose. Conditional zoning is a legislative process involving a rezoning of specific property based upon a particular development proposal and site plan. Conditions may be incorporated into the approval consistent with North Carolina law.

Unlike an SUP, conditional zoning provides Town Council with broader legislative discretion. Council must consider the consistency of the proposed rezoning with the Town's Land Use Plan and determine whether the rezoning is "reasonable and in the public interest".

The fundamental question presented by conditional zoning is:

"Does the existing zoning provide the appropriate regulatory framework for this property, or is Council willing to approve different zoning based upon this specific development proposal?"

Because conditional zoning is legislative, Council may consider broader planning and policy issues, including compatibility with surrounding development, proposed density and intensity, transportation impacts, adopted land use policies, site design, and whether the proposed conditions adequately address potential impacts.

This distinction can become particularly important when there is significant public opposition to a project. In an SUP proceeding, general opposition to a development does not, by itself, provide a lawful basis for denial. The decision must be based upon competent, material, and substantial evidence related to the applicable ordinance standards.

In a conditional zoning case, Council has considerably more discretion to consider broader land use and policy questions, including whether the proposed development is appropriate for the location and whether the requested zoning is consistent with the Town's long term vision for the area.

When Each Process May Be Appropriate

Conditional zoning may be particularly useful when the primary question is whether the zoning of a property should change and the Town wants certainty regarding the development that will result from that change. Examples could include major multifamily developments, mixed use projects, large commercial developments adjacent to residential areas, planned developments, significant redevelopment projects, or situations where a conventional rezoning would provide broader development rights than either the applicant or Town intends.

Conversely, conditional zoning may not be necessary for every potentially impactful land use. If the Town is comfortable establishing clear ordinance standards and allowing a particular use within an existing zoning district when those standards are satisfied, the SUP process can provide a more predictable approval process.

A simple way to distinguish the two processes is:

SUP: "This use belongs in this zoning district under the right circumstances. Does this proposal meet those circumstances?"

Conditional Zoning: "We may be willing to change the zoning of this property, but we want to know specifically what development will result from that change."

Discussion and Next Steps

Staff is seeking direction from Town Council regarding which uses should remain subject to the Special Use Permit process and which uses would be more appropriately reviewed through conditional zoning or be permitted by right.

Of particular importance is whether Council wants certain uses to remain permitted within existing zoning districts subject to objective approval standards, or whether Council believes those uses warrant a legislative review that provides greater discretion to evaluate the appropriateness of the development and its relationship to the surrounding area.

Following Council's discussion and direction, staff proposes to prepare potential revisions to the use table and informally present those revisions to the Planning Board for discussion. Feedback from both bodies could then be incorporated into a formal Land Development Code text amendment for consideration through the required amendment process.

BASE DISTRICT	R-1	R-1A	R-2	R-3	NBD	CBD	C-1	C-2	M-1
Residential									
Dwelling-Single Family (Not part of a PRD)	P	P	P	P	P	P	—	—	—
Dwelling-Duplex (Not part of a PRD)	P	P	P	P	P	P	—	—	—
Dwelling-Multifamily 4 units/bldg or less (Not part of a PRD)	—	—	—	P	P	P	—	—	—
Dwelling-Multifamily more than 4 units/bldg	—	—	—	SUP	SUP	SUP	—	—	—
Dwelling-Secondary	PS	PS	PS	PS	PS	PS	PS	PS	—
Family Care Home (6 or fewer residents)	PS	PS	PS	PS	PS	PS	PS	PS	—
Home Occupation	PS	PS	PS	PS	PS	PS	PS	PS	—
Housing Service for the Elderly	—	—	—	—	P	P	P	P	—
Live-Work Units	—	—	—	—	PS	PS	PS	PS	—
Manufactured Housing, Individual Lots	—	PS	PS	PS	—	—	—	—	—
Manufactured Housing, Parks	—	—	—	SUP	—	—	—	—	—
Planned Residential Development (PRD)	SUP	SUP	SUP	SUP	SUP	SUP	—	—	---
Lodging									
Bed and Breakfast Inns	PS	PS	PS	PS	PS	P	P	—	—
Hotels/Motels/Inns	—	—	—	—	—	P	P	P	P
Rooming or Boarding House	—	—	SUP	PS	PS	—	—	—	—
Office/Service									
Animal Services	—	—	—	—	—	P	P	P	P

BASE DISTRICT	R-1	R-1A	R-2	R-3	NBD	CBD	C-1	C-2	M-1
ATM	—	—	—	—	P	P	P	P	P
Banks, Credit Unions, Financial Services	—	—	—	—	P	P	P	P	P
Business Support Services	—	—	—	—	P	P	P	P	P
Child/Adult Day Care Home (6 –15 persons)	P	P	P	P	P	P	P	P	P
Child/Adult Day Care Center (16 or more persons)	PS	PS	PS	PS	PS	PS	PS	PS	PS
Community Service Organization	—	—	P	P	P	P	P	P	—
Drive Thru Service	—	—	—	—	—	PS	P	P	—
Funeral Homes	—	—	—	—	—	—	P	P	P
Group Care Facility (More than 6 residents)	—	—	SUP	SUP	SUP	SUP	SUP	—	—
Government Services	—	—	—	—	P	P	P	P	—
Medical Services - Clinic, Urgent Care Center	—	—	—	—	—	P	P	P	—
Medical Services – Doctor office	—	—	—	—	P	P	P	P	—
Outdoor Kennels	—	—	—	—	—	—	—	PS	PS
Post Office	—	—	—	—	P	P	P	—	—
Professional Services	—	—	—	—	P	P	P	P	P
Studio – Art, dance, martial arts, music	—	—	—	—	P	P	P	P	P
Vehicle Services – Major Repair/Body Work	—	—	—	—	—	—	—	PS	PS
Vehicle Services – Minor Maintenance/Repair	—	—	—	—	—	—	PS	PS	PS
Retail/Restaurants									
Auto Parts Sales	—	—	—	—	—	—	P	P	P
Bar/Tavern/Night Club	—	—	—	—	—	P	P	P	—
Drive-Thru Retail/Restaurants	—	—	—	—	—	PS	P	P	P
Gas Station with Convenience Store	—	—	—	—	PS	—	P	P	P
General Retail – 10,000 sf or less	—	—	—	—	P	P	P	P	P
General Retail – 10,001 sf – 50,000 sf	—	—	—	—	—	P	P	P	P
General Retail – 50,001 – 100,000 sf	—	—	—	—	—	SUP	SUP	SUP	SUP
Restaurant	—	—	—	—	P	P	P	P	P
Shopping Center – Neighborhood Center	—	—	—	—	—	SUP	PS	PS	PS
Shopping Center – Community Center	—	—	—	—	—	CZ	CZ	CZ	CZ
Vehicle/Heavy Equipment Sales, Service, & Rental	—	—	—	—	—	—	----	PS	PS

BASE DISTRICT	R-1	R-1A	R-2	R-3	NBD	CBD	C-1	C-2	M-1
Entertainment/Recreation									
Adult Establishment	—	—	—	—	—	—	—	SUP	—
Amusements, Indoor	—	—	—	—	—	P	P	P	—
Amusements, Outdoor	—	—	—	—	—	—	P	P	—
Cultural or Community Facility	SUP	SUP	SUP	SUP	P	P	P	P	—
Electronic Gaming Operations/Internet Sweepstakes	—	—	—	—	—	—	—	—	—
Meeting Facilities	SUP	SUP	SUP	SUP	P	P	P	P	—
Recreation Facilities, Indoor	—	—	—	SUP	P	P	P	P	—
Recreation Facilities, Outdoor	P	P	P	P	P	P	P	P	—
Shooting Range, Outdoor	—	—	—	—	—	—	—	—	SUP
Theater, Movie	—	—	—	—	—	P	P	P	—
Theater, Live Performance	—	—	—	—	—	P	P	P	—
Manufacturing/Wholesale/Storage									
Agribusiness	P	P	P	P	—	—	—	—	P
Agricultural Products	PS	PS	PS	PS	—	—	PS	PS	P
Asphalt Plant	—	—	—	—	—	—	—	—	—
Construction Services	—	—	—	—	—	—	—	PS	P
Cryptocurrency Mining Operations	—	—	—	—	—	—	—	—	—
Data Centers	—	—	—	—	—	—	—	—	—
Laboratory - Medical, analytical, research & development	—	—	—	—	—	SUP	SUP	SUP	P
Laundry, dry cleaning plant	—	—	—	—	—	—	P	P	P
Manufacturing, Light	—	—	—	—	—	—	P	P	P
Manufacturing, Neighborhood	—	—	—	—	—	P	P	P	P
Manufacturing, Heavy	—	—	—	—	—	—	—	—	P
Media production	—	—	—	—	P	P	P	P	—
Metal products fabrication, machine or welding shop	—	—	—	—	—	—	—	—	P
Mini-Warehouses	—	—	—	—	—	—	—	—	P
Research and development	—	—	—	—	P	P	P	P	P
Storage - Outdoor storage yard, primary use	—	—	—	—	—	—	—	—	PS
Storage - Warehouse, indoor storage	—	—	—	—	—	—	—	—	P

BASE DISTRICT	R-1	R-1A	R-2	R-3	NBD	CBD	C-1	C-2	M-1
Wholesaling and distribution	—	—	—	—	—	—	—	SUP	PS
Civic/Institutional									
Campground	—	—	SUP	SUP	SUP	—	—	—	—
Cemeteries	P	P	P	P	P	—	P	P	—
Colleges/Universities	—	—	—	—	SUP	SUP	SUP	P	—
Hospital	—	—	—	—	—	SUP	P	P	—
Public Safety Station	SUP	SUP	SUP	SUP	P	P	P	P	P
Religious Institutions	SUP	SUP	SUP	SUP	SUP	SUP	SUP	P	—
Schools – Elementary & Secondary	SUP	SUP	SUP	SUP	SUP	SUP	SUP	P	—
Schools – Vocational/Technical	—	—	—	—	SUP	SUP	SUP	P	—
Infrastructure									
Airport	—	—	—	—	—	—	—	—	SUP
Wireless Telecommunication Facility-Stealth	PS	PS	PS	PS	PS	PS	PS	PS	PS
Wireless Telecommunication Facility-Tower	—	—	—	—	—	—	—	—	SUP
Utilities-Class 1	P	P	P	P	P	P	P	P	P
Utilities-Class 2	—	—	—	—	—	—	—	SUP	PS
Utilities-Class 3	—	—	—	—	—	—	—	—	PS
Utilities-Class 4	—	—	—	SUP	—	—	—	PS	PS

Other considerations

Outside of determining which uses should be Special Uses versus Conditional Rezoning, it is also worth discussing whether our current Special Use Permit process makes sense and is still serving its intended function for the Town.

The Land Development Code currently contains conflicting information regarding which board is responsible for deciding Special Use Permits. Some sections state that Special Use Permits are decided by Town Council, while other sections state that they are decided by the Zoning Board of Adjustment. The administration section of the ordinance states that Special Use Permits go before Town Council, which I believe is why that has historically been the Town's practice despite the conflicting language elsewhere in the ordinance.

If Town Council would prefer to remove itself from the administrative review of Special Use Permits altogether, shifting responsibility for their review to the Zoning Board of Adjustment would be a relatively straightforward option. Many municipalities across the state use this approach because it allows quasi-judicial decisions to be handled by a single board that regularly considers these types of cases. It also removes Town Council, as the Town's primary policy-making body, from administrative decisions where the decision must be based on whether an applicant has satisfied the applicable ordinance standards.

Even if Council decides to retain its role in reviewing and deciding Special Use Permits, I would strongly suggest discussing the current practice of having the Planning Board review these applications before they proceed to Town Council. I believe the additional Planning Board review creates potential procedural complications without necessarily providing a corresponding benefit to the decision-making process.

The UNC School of Government has addressed the use of advisory boards to make recommendations in quasi-judicial proceedings and some of the procedural concerns associated with this practice. That discussion can be found [here](#).

The UNC School of Government states:

“An advisory review is allowed, but if done it is primarily for the benefit of the parties. It recognizes that these reviews are indeed like a dress rehearsal for the formal evidentiary hearing, terming this a "preliminary forum." It avoids the due process and evidentiary concerns by providing that the decision-making board cannot use the information presented at the advisory review. Further, the planning board's recommendation cannot be the basis for a decision on the application.

Given these limits, some jurisdictions have simply eliminated advisory reviews altogether. If a planning board comment has such limited use, why put everyone to the time, trouble, and expense to go through the planning board prior to going to the decision-making board? In these jurisdictions the responsibility to hold an evidentiary hearing and make a decision on a special use permit is assigned to a single board and there are no advisory reviews. This is quicker and simpler for applicants and neighbors concerned about the application.”

The Heart of Fletcher Zoning Overlay includes language that does not appear to align with the overall structure and intent of the Land Development Code also. The use table establishes each land use and identifies whether that use is permitted within the corresponding zoning district.

The Heart of Fletcher Overlay currently states:

“The guidelines contained in the Heart of Fletcher Overlay (HOF-O) should be used as a reference tool to promote urban, pedestrian-friendly developments within the town’s center. Developers shall comply with the following guidelines and will adhere to review procedures by the Administrator, the Planning Board and/or the Town Council as stipulated in Article 15 of this Code. **A Conditional Zoning review shall be required where a developer proposes a use not permitted in the underlying zoning district.”**

Staff would like to consider removing the final sentence, which states:

This provision potentially undermines the use table by creating a separate pathway for properties within the Heart of Fletcher Overlay to request uses that are otherwise not permitted within the underlying zoning district. In effect, a property within the overlay could seek approval for a use that would not be available to another property located within the same underlying zoning district but outside of the overlay.

The current language also does not establish clear limitations on the types of uses that may be requested through this process. For example, a heavy manufacturing use is not permitted within the C-1 zoning district and is only allowed in M-1. However, under the existing language, an applicant with property located within both the C-1 District and the Heart of Fletcher Overlay could potentially submit a Conditional Zoning application requesting that use.

While Town Council may ultimately determine that such a request is inappropriate and deny the application, the Town would still be required to process the application through the normal Conditional Zoning process and satisfy all applicable statutory requirements.

Removing this sentence would ensure that permitted and prohibited uses within the Heart of Fletcher Overlay continue to be determined by the use table and the applicable review process. It would also provide greater clarity and consistency by requiring each proposed use to follow the specific review and approval process established by the Land Development Code, rather than providing a blanket Conditional Zoning pathway for uses that are otherwise not permitted within the underlying zoning district.

MEMORANDUM

TO: Mayor & Council

FROM:

COPY TO: Heather Taylor, Assistant Town Manager

DATE: 9/2/2026

SUBJECT: Presentation by Bob Turner regarding concept for an AgTech park.



Background:

Bob Turner will provide a presentation on a concept that he is developing for an AgTech park. AgTech stands for agricultural and technology. He met recently with staff to talk about his idea to develop a series of buildings where companies that are involved in AgTech activities can operate their businesses.

Recommendation:

This item is for informational purposes only.

Attachments:

1. AgTech Concept



FLETCHER TECHNOLOGY PARK

— APPLIED AGTECH INNOVATION CAMPUS —

OFFERING MEMORANDUM

Building the future of food and agriculture
through innovation, technology, and
sustainable growth.

INNOVATE. CULTIVATE. ELEVATE.



All building images are conceptual



STRATEGIC LOCATION

Situated in the heart
of WNC's agricultural
and innovation corridor.



PURPOSE-BUILT CAMPUS

Designed for R&D,
technology development,
and light industrial use.



STRONG MARKET DEMAND

AgTech market projected
to reach \$36B
by 2030.



EXPERIENCED DEVELOPER

Proven track record of
successful commercial
developments.

INVEST IN THE FUTURE OF FOOD. INVEST IN FLETCHER.

Fletcher Technology Park is a purpose-built AgTech innovation campus positioned at the intersection of agriculture and technology—where groundbreaking ideas become real-world impact and exceptional returns.

THE OPPORTUNITY

-  Large and growing global market with powerful long-term tailwinds
-  Prime location in the heart of the Southeast AgTech corridor
-  Purpose-built campus with best-in-class infrastructure
-  Attractive risk-adjusted returns with multiple value creation drivers
-  Proven development leadership with deep AgTech expertise



All building images are conceptual

INVESTOR BENEFITS



STRONG CASH FLOW



VALUE APPRECIATION



DIVERSIFICATION



SOCIAL IMPACT



ATTRACTIVE EXIT

PARTNER WITH US TO BUILD WHAT MATTERS.

We invite forward-thinking investors to join us in developing a world-class AgTech innovation campus that will shape the future of food and deliver compelling returns.

**JOIN US IN
BUILDING THE
FUTURE.**

INNOVATE.
COLLABORATE.
TRANSFORM.



BUILDING A WORLD-CLASS AgTech Ecosystem

A HUB FOR INNOVATION. A HOME FOR GROWTH.

A concentrated hub of related AgTech companies creates a **powerful network effect**.

When technology companies, researchers, investors, manufacturers, growers, and service providers locate near one another, collaboration becomes easier, innovation accelerates, and the exchange of ideas, talent, and capital creates opportunities that would be difficult to achieve independently.

Companies gain faster access to customers, strategic partners, skilled employees, demonstration sites, and investment capital—making the region a more attractive place to launch, grow, and commercialize new agricultural technologies.



COLLABORATE

Cross-sector partnerships fuel solutions that scale.



INNOVATE

Access to leading-edge research, technology, and real-world testing.



COMMERCIALIZE

Move faster from concept to market with greater impact.



FLETCHER AGTECH PARK
WESTERN NORTH CAROLINA'S APPLIED
AGTECH INNOVATION DISTRICT

WHY WESTERN NORTH CAROLINA?

EXCEPTIONAL QUALITY OF LIFE.
AN IDEAL PLACE TO INNOVATE AND GROW.



“*A better quality of life.
A better place to build the future
of food and agriculture.*”

Western North Carolina offers the perfect balance of natural beauty, vibrant communities, and a supportive business environment—making it easy to attract top talent and build a life well-lived.

From a mild four-season climate and abundant outdoor recreation to a thriving arts and culinary scene, the region delivers a lifestyle that inspires creativity and well-being.

With convenient access to Asheville Regional Airport, Interstate 26, leading universities, and a diverse agricultural landscape, this is a place where people and companies can thrive.



A THRIVING FOOD & AG REGION

Specialty crops, farms, and food producers drive a rich ecosystem.



ACCESS TO TOP TALENT

Proximity to top universities and a skilled, growing workforce.



INNOVATION ECOSYSTEM

Research, entrepreneurship, and supportive partners accelerate growth.



www.EatYourView.com

Page 47 of 68

WHERE AN AGTECH STARTUP GOES TO BECOME A BUSINESS.

FROM INNOVATION TO COMMERCIALIZATION

Fletcher is positioned for the next stage after the lab: prototype, field validation, production, operations and scale.



**PROTOTYPE. TEST. DEMONSTRATE. MANUFACTURE. DISTRIBUTE.
SCALE.**

POSITIONING

Research campuses and incubators help AgTech companies discover and develop technology. Fletcher Technology Park is designed for the next real-estate need: the place where the company becomes operational.

Not just a research park — an applied commercialization campus.

APPLIED R&D

Finish the product outside the university or incubator setting.

REAL-WORLD TESTING

Use working farms, terrain, crops, livestock and customer demos.

COMMERCIAL OPERATIONS

House the people, equipment and inventory required to scale.

YOUR NEXT 20,000–100,000 SF.

Highly adaptable flex space at affordable rates.

A **SECOND-FACILITY STRATEGY** in proximity to field test sites and still close enough to the Research Triangle. We can help you to control costs with flexible space that allows for growth as you scale up.



“When your next step means 20,000 to 100,000 SF for commercialization, manufacturing, field testing, warehousing or distribution, we can build it for you in Fletcher.”

FLEXIBLE SPACE, WITH ROOM TO GROW.

FLEX INDUSTRIAL

Clear-span space, overhead doors, with room for production, storage and growth.

DEMONSTRATION

Customer-ready space where technology can be shown working.

LIGHT MANUFACTURING

Production capability without overbuilding expensive wet labs.

PROTOTYPE + ASSEMBLY

Workbench, equipment, robotics, sensor and hardware environments.

WAREHOUSE + DISTRIBUTION

Inventory, logistics and regional market access.

CORPORATE OFFICE

A professional base for operations, sales and management.

FROM THE LAB TO THE MARKET

Fletcher is the operational bridge.

As an Investment Sponsor

we are creating a **specialized investment platform** that brings together the **real estate**, the **tenant pipeline**, and the **investor capital**.

We understand that institutional investors are looking for experienced sponsors who can originate deals that they cannot easily find themselves. We are uniquely qualified with deep experience in agricultural technologies, commercial development, farming and food production.

What we do:

- Find the land
- Create the vision
- Obtain zoning and incentives
- Recruit AgTech tenants
- Assemble the investment group
- Develop and manage the project

The investors provide the equity and share in the rewards of a secure investment backed by real property.

"We identify the opportunity, secure the land, recruit the tenants, and assemble the capital."

THE INVESTMENT OPPORTUNITY

INVEST IN THE FUTURE OF FOOD & AGRICULTURE.

Fletcher Technology Park offers investors the rare opportunity to invest in a purpose-built campus positioned at the intersection of agriculture, technology, and innovation.



100

ACRES

Strategic
Master-planned
campus



\$100M+

**TOTAL PROJECT
COST**

Purpose-built
campus



8.0%+

**TARGET STABILIZED
CASH-ON-CASH
RETURN**

At stabilization



2.0x+

**PROJECTED EQUITY
MULTIPLE**

Over 7–10 year
hold period

The Five-Year Plan



INVESTMENT HIGHLIGHTS



HIGH-GROWTH SECTOR

AgTech market projected to reach \$74B+ by 2030 with strong long-term tailwinds.



PRIME LOCATION

Fletcher, NC offers superior access, infrastructure, and quality of life.



MODERN INFRASTRUCTURE

Best-in-class facilities with high-speed connectivity and sustainable design.



DEEP TALENT POOL

Access to universities, research institutions, and a skilled workforce.



SUSTAINABILITY FOCUS

Supporting the future of food, environmental stewardship, and resilience.



STRONG PARTNERSHIPS

Local and state partners aligned to support business growth and innovation.



INVESTOR ADVANTAGES

Tax incentives, depreciation benefits, and strong risk-adjusted returns.



STABLE CASH FLOW

NNN leases provide predictable income and minimal landlord expenses.

AT A GLANCE

TARGET LEASE RATE

\$20.00 / SF NNN

PROTOTYPE BUILDING SIZE

24,000 SF

GROSS ANNUAL REVENUE

\$480,000

NET OPERATING INCOME

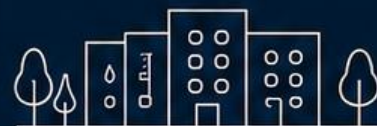
\$374,400

CAP RATE (UNDERWRITTEN)

8.0%

STABILIZED VALUE

\$4.68 MILLION



GLOBAL MARKET OPPORTUNITY

A MASSIVE AND ACCELERATING MARKET WITH STRONG LONG-TERM TRENDS.



\$27B

2024 MARKET SIZE

Global AgTech market valued at \$27B in 2024.



\$74B+

2030 MARKET SIZE

Projected to exceed \$74B by 2030.



13.5%

CAGR GROWTH

Strong compound annual growth rate through 2030.



9.7B

GLOBAL POPULATION BY 2050

Driving unprecedented demand for food.

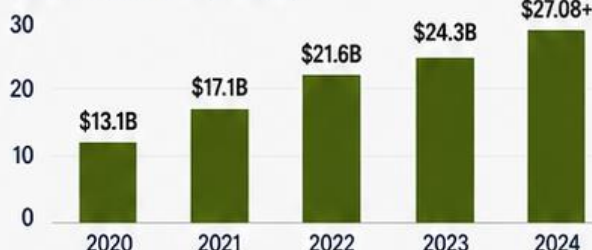


KEY GROWTH DRIVERS

- ✓ Increasing focus on food security and sovereignty
- ✓ Government and corporate sustainability commitments
- ✓ Rapid adoption of AI, robotics, and digital technologies
- ✓ Investment in biologicals and advanced crop sciences
- ✓ Growing demand for traceability and transparency

AGTECH INVESTMENT TRENDS

GLOBAL INVESTMENT (BILLIONS)



**INVESTING TODAY
INNOVATES TOMORROW'S
FOOD SYSTEM.**

AgTech is no longer emerging—it's essential.

A PURPOSE-BUILT CAMPUS FOR THE NEXT GENERATION OF AGTECH.

Fletcher Technology Park is a strategically located, master-planned campus in Fletcher, North Carolina, designed to attract and support applied AgTech companies.

The campus will deliver modern facilities, flexible spaces, and a collaborative environment that accelerates innovation and drives measurable impact.



The location of Phase 1 of the Fletcher AgTech Park. Two acres have already been acquired and cleared, ready to build. Over 1 million square feet of commercial space already exists along this corridor.

Why Western North Carolina?

Western North Carolina is a nationally recognized food-centric region

Strong local and sustainable food culture

Dogwood Health Trust identified agrifood tech as a regional opportunity (Nov 2023)

Alignment with environmental health, human health, and community resilience goals



Use of Funds (example)

Use	Amount
Land acquisition	\$1,000,000
Site preparation & grading	\$ 200,000
Roads & parking	\$ 260,000
Utilities & stormwater	\$ 300,000
Building construction	\$2,300,000
Architecture & engineering	\$ 100,000
Legal, permits & insurance	\$ 75,000
Leasing & marketing	\$ 60,000
Financing costs & interest reserve	\$ 200,000
Contingency	\$ 500,000
Total Uses	\$5,000,000

Source of Funds

Source	Amount
Construction loan	\$2,000,000
Institutional equity partner	\$2,000,000
Sponsor equity (cash or land value)	\$1,500,000
Public infrastructure grant	\$ 500,000
Total Sources	\$5,000,000

A detailed construction plan, budget and contractor quotes will be provided, along with prospective tenant lease agreements, before an investor enters into any investment offering.

SCALING

Scaling UP after Completion of Phase 1: We have already identified 30 prime acres for the next phase of development that is part of two tracts of property owned and earmarked for commercial development by Fletcher and Henderson County. We are working with city and county officials to try to reserve those tracts for the next phase of our AgTech ecosystem, a potential \$100 million dollar project.



“Climate change will create more risk in our already fragile food supply chains, which will require a dramatic shift in the way we look at food in the future”

OUR VISION

LEADING THE FUTURE OF FOOD, FARM
AND TECHNOLOGY.

Our Next Project

The Applied AgTech Innovation Campus will be the Southeast's premier Applied AgTech Innovation Campus—where technology, research, and industry converge to drive productivity, sustainability and food system resilience.

Scalability

The AgTech Park concept is scalable and can be reproduced in other regions around the country and the world, including prime locations we've identified in The Netherlands.



MODERN FLEX / R&D
AND INNOVATION SPACE

100K+
SF PLANNED



HIGH-SKILLED
WORKFORCE ACCESS

500K+
WITHIN 60 MILES



STRATEGIC LOCATION
IN WNC

I-26
AT THE CROSSROADS



LONG-TERM VALUE
AND IMPACT

SUSTAINABLE
GROWTH

FINANCIAL SNAPSHOT

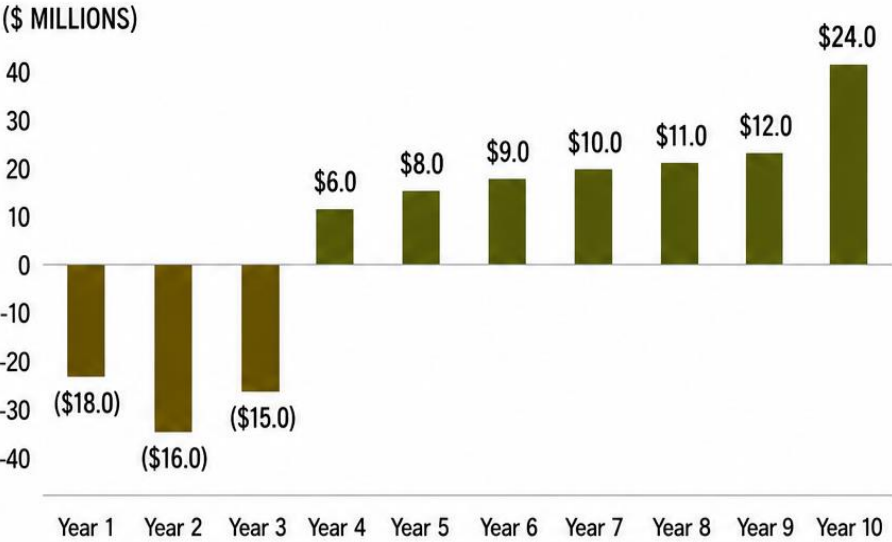
STRONG RETURNS.
BUILT TO PERFORM.

PROJECT OVERVIEW	
Total Project Cost	\$100M+
Total Project Site	100 Acres
Rentable Square Feet	~250,000 SF
Development Period	3 Years
Stabilization	Year 4

PROJECTED RETURNS	
Stabilized Occupancy	90%+
Average Rent Per SF (NNN)	\$18.50 / SF
Stabilized NOI	\$16.8M+
Target Cash-on-Cash Return	8.0%+
Projected Equity Multiple	2.0x+
IRR (10-Year Hold)	18%+

Projections are based on current market conditions and assumptions.
Actual results may vary.

10-YEAR CASH FLOW SUMMARY
(UNLEVERED)



8.0%+
TARGET CASH-ON-CASH
RETURN AT STABILIZATION

18%+
PROJECTED IRR
(10-YEAR HOLD)

2.0x+
PROJECTED EQUITY
MULTIPLE

Global Scalability

A Note on Investment Risk

This is not a proposal for investment in AgTech companies, it is an investment in real estate that will support the industry and become a home for AgTech innovators.

The underlying asset value of the investment is in land and buildings in a very strong commercial real estate market. Turner Development built and manages 18 commercial buildings and has held an almost 100% occupancy rate in this market location for over a decade. If an AgTech tenant struggles financially, they can be replaced with another tenant, and the underlying value of the asset remains.



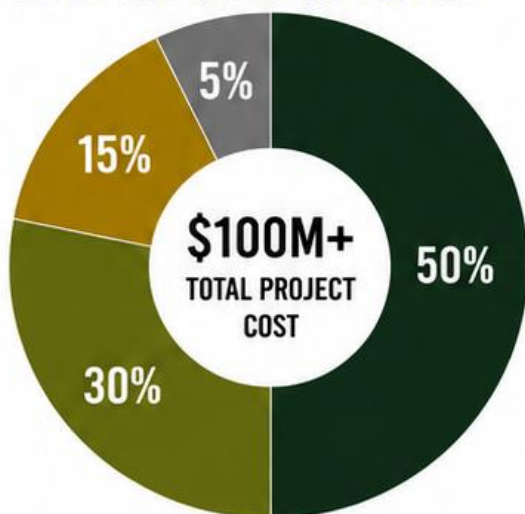
FARMERS ARE HURTING

RIISING INPUT COSTS
SHRINKING COMMODITY PRICES

An Incidental Benefit from your investment: Save Farmland, Feed People

CAPITAL STACK

A DISCIPLINED APPROACH TO CAPITALIZATION.



SENIOR DEBT	50% \$50M+
EQUITY INVESTORS	30% \$30M+
MEZZANINE FINANCING	15% \$15M+
DEVELOPER EQUITY	5% \$5M+

*For reference only; any deal can be structured differently.



CONSERVATIVE LEVERAGE

Maintaining strong
financial stability



RISK-MITIGATED STRUCTURE

Balanced capital stack
to manage risk



OPTIMIZED RETURNS

Designed to maximize
investor returns



ALIGNED BY INTERESTS

Developer and investors
aligned for success

POWERFUL TAILWINDS FOR AGTECH INNOVATION.

AgTech is one of the fastest-growing sectors in the global economy. Fletcher Technology Park positions your business at the center of opportunity.



RAPID MARKET GROWTH

The global AgTech market is projected to exceed \$74B by 2030, growing at a double-digit CAGR.



GLOBAL FOOD DEMAND

Population growth and changing diets are driving demand for more food, sustainably.



TECHNOLOGY ACCELERATION

AI, robotics, biotechnology, and data analytics are transforming agriculture and food systems.



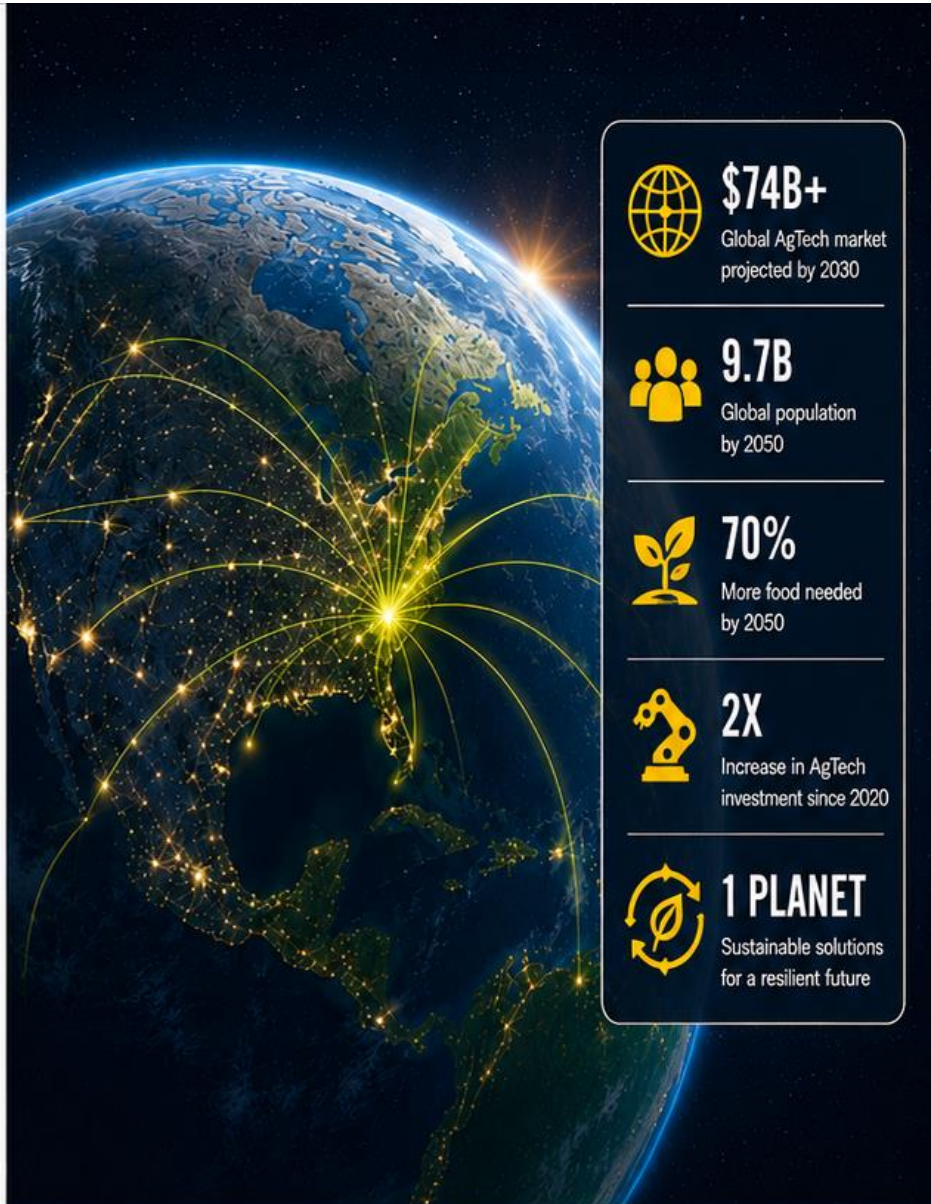
STRONG POLICY SUPPORT

Government initiatives and funding are fueling innovation and adoption worldwide.



SUSTAINABILITY DRIVES VALUE

Sustainable solutions are creating long-term value for businesses, communities, and the planet.



\$74B+

Global AgTech market projected by 2030



9.7B

Global population by 2050



70%

More food needed by 2050



2X

Increase in AgTech investment since 2020



1 PLANET

Sustainable solutions for a resilient future

Developer and Sponsor Robert Turner has extensive knowledge in farming and food production, much of it gained from his own experiences on his farm in Arden, NC. He is the author of two books related to the subject.



Why is the Food System Changing?

Deteriorating public health from poor diets of processed foods

Rapidly rising healthcare costs

Mounting environmental pressure

Creates jobs in a circular economy

The Dogwood Health Trust Report: A Benchmark Study.

This report, commissioned by Dogwood and prepared by RTI International in 2023, is foundational research for our projects. Download it at EatYourView.com

This moment in time presents exciting AgriFood Tech innovations and trends that provide additional options for experimentation and accelerated progress in WNC.

Multiple global AgriFood Tech trends hold future market potential in WNC when combined with regional assets. These specific AgriFood Tech trends should not be considered in isolation; specific AgriFood technologies reap benefits when integrated with creative business models, good management practices, productive market channels, and other key resources.



Climate-Smart Farming & Forestry: reduced emissions, increased nutrient efficiency and carbon sequestration, building viable carbon markets



eGrocery, eCommerce: online channels, marketing, and delivery models for the digital shopper including open-source and scalable platforms



Data-enabled Management Suite: integrated software platforms that bundle farmer and forester needs for data-driven decision-making, support, and business management



Alternative Protein: microbial fermentation of waste feedstocks to manufacture protein and specialty food ingredients



Controlled-Environment Farming: indoor vertical farming and greenhouse technology to extend growing season, diversify, and increase efficiency



Robotics and Mechanization: manufacturing and adoption of agriculture and food processing equipment that combat issues of labor shortages



Ag Biotechnology: genetic modification of crops, microorganism-derived sustainable natural fertilizer and other innovations to strengthen food supply



Climate Modeling: Data and analytics to enable future-oriented planning and management (e.g., adjusting crop selection and practices amidst climatic shifts)

Solving Global Challenges: Why AgTech Matters The Top 10 Problems Agriculture Must Solve

1. Economic Problems: Farmers are struggling, food costs are rising
2. Biodiversity: Birds, Bees and Butterflies are vanishing in a “Bug Apocalypse”
3. Farmland Sprawl and Deforestation: Saving the Rain Forest
4. Climate Change: heat, drought and flood
5. Growing World Population
6. Soil Erosion, Soil Degradation: We are degrading the land we depend on
7. Food Waste: About 32% of all food produced is wasted.
8. Farm Labor Shortages and Rising Labor Costs
9. Inefficient Use of Fertilizer and Chemicals are affecting Ecosystems
10. Insect and Plant Resistance to Pesticides; Antimicrobial Resistance in Farm Animals (includes the loss of antibiotics for human use.)

Other Important Factors in the news: Food Safety and Traceability

**We're not the Lab. We're the Workshop
where companies come to fix the Big Problems.**

Executive Summary:

The Fletcher AgTech Park

A Western North Carolina AgTech Corridor

AgTech is about using precision agriculture to improve farm efficiency. It can greatly reduce input costs, including labor, and improve farmer profits, ensuring a strong agriculture sector for the future. AgTech also improves access to healthy, whole foods and reduces food costs. AgTech is attracting interest and investment because it addresses important societal concerns: Rising food costs, Deteriorating health conditions due to poor diets of highly processed foods, Rising health care and health insurance costs. Rising farmer input costs, including fertilizers, chemical inputs and diesel fuel that are stressing the business of farming.

The Western North Carolina AgTech Corridor is a phased, mixed-use office/R&D and light industrial development in Fletcher, NC, designed to attract and scale agricultural technology companies focused on sustainability, precision agriculture, AI, robotics, biologicals, climate science, and food system resilience. The project leverages the region's agricultural heritage, growing innovation ecosystem, food-centric culture, research universities, and strategic location to create a nationally recognized AgTech hub.

AgTech is about efficiency. It's a way to "grow more with less".
Less inputs, less labor, less damage to the environment.

The Fletcher AgTech Park

A first step on the Fletcher Technology Corridor

The innovation district can improve farmer profitability and keep them on their land, improve environmental outcomes, local food security, and economic resilience. This is a **very strong, achievable, and politically supportable concept** for Western North Carolina. We're not trying to "import Silicon Valley" — we're formalizing what WNC already *is*, then giving it infrastructure, identity, and political support.

This is **not** speculative tech. It is:

- Climate-aligned, Workforce-relevant, Place-authentic, Public benefit driven

That combination matters enormously in North Carolina.

AgTech Innovators can connect with real world farmers in the region. (Creekside Farm, Arden, NC.)



We are positioning the AgTech corridor as:

A health, resilience, and food security intervention

An economic development engine that also supports our agricultural heritage and a workforce opportunity that will attract young students to STEM education.

1. Market Opportunity

Industry trends

Rapid growth in:

- Precision agriculture & improved farm efficiency
- Robotics, drones and automation
- Field sensors and satellite imaging
- Biologicals
- Food waste reduction systems

Increasing regulatory and consumer pressure to reduce intensive applications of harmful chemicals. Increasing pressure to reduce farm input costs and improve farmer profitability. Growing public concern around food security and climate resilience

Regional gap

No dedicated AgTech district in the Southeast
Limited purpose-built space for applied AgTech
Opportunity to lead instead of follow
Raleigh/Durham

Regional alignment

WNC's strong identity around:

- Local & sustainable food
- Environmental stewardship
- Farm-to-table ecosystem

Presence of:

- Small farms
- Specialty crop producers
- Organic and regenerative practices



Creekside Farm



Test fields at Creekside Farm

We have partner farms across the region that can test and evaluate new technologies, including our own 50-acre farm in Arden, NC.

Strategic advantage

This project is Applied AgTech — not lab-only, not software-only — but real-world deployment in a complex terrain, including specialty crops in environmentally sensitive regions. That differentiates us nationally.

2. Competitive Advantage

Location advantage

- Lower cost of office, lab and production space
- Proximity to farms and specialty crops
- Quality of life
- Airport + interstate access

Intellectual leadership

Vast collective food and farming knowledge and experience in this region, including organic and Controlled Environment Agriculture (greenhouse production).

- Home of NCSU Mountain Horticulture Research Station and the NOAA Climate Data Center
- Developer's nationally recognized AgTech expertise and published thought leadership

Authentic ecosystem

- Food-centric culture
- Sustainability-first region
- Existing agricultural base

3. Economic & Community Impact

- Improved Diets of healthy whole foods
- High-wage job creation
- Reduced environmental impact
- Improved local food security
- Workforce development



National Centers for
Environmental Information

NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION

WNC is home to the NOAA national climate & weather information data center located in Asheville, NC

We're not trying to "import Silicon Valley" — we're formalizing what WNC already *is*, then giving it infrastructure, identity, and political support.

WNC is already an AgTech Hub with several companies using new technologies in a real-world commercial setting.



Biological input
developers
Ohalo Genetics



Ag robotics and
automation
Gaia Herbs



Food preservation and
waste reduction
innovators- several
organizations in WNC



Precision agriculture
WNC farms are using
drones, GPS tractors,
remote sensors



PACKAGING &
DISTRIBUTION
FLAVOR FIRST



FIELD TESTING
MANY AVAILABLE
FARMS



FOOD
PROCESSING
CITY BAKERY



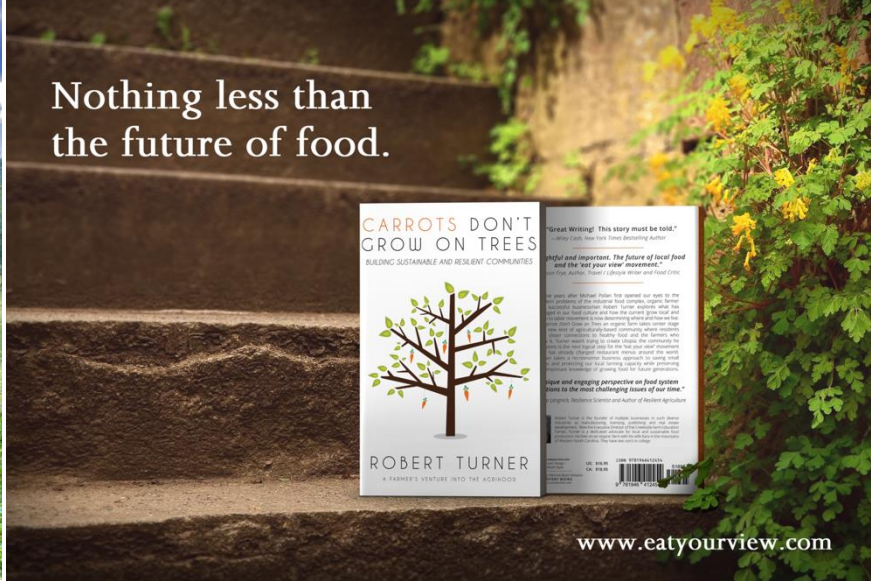
AUTOMATION
SIERA NEVADA



RESEARCH
NCSU MOUNTAIN
RESEARCH
STATION



CEA
(GREENHOUSE)
VAN WINGERDEN



Leadership & Credibility

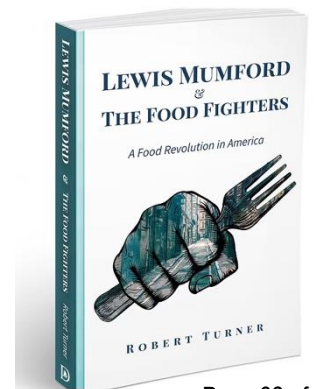
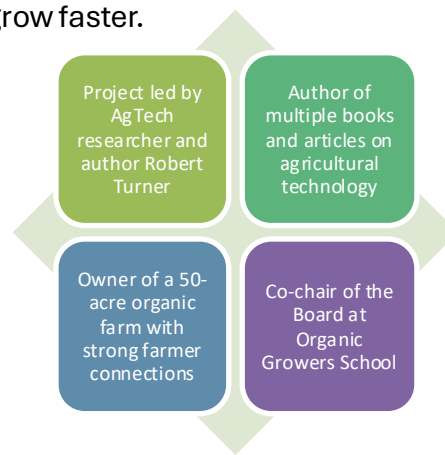
About the Sponsor

The developer, Robert Turner is a science writer and author of numerous books and articles about new technologies in agriculture (AgTech). He's a columnist for Mother Earth News magazine. Turner is also a successful developer of commercial property, and the owner of an organic vegetable farm and pasture raised beef operation in Arden, NC. He is also past Co-chair of the Board of Directors at Organic Growers School, a leading source of organic education in the Southeast.

The AgTech park is not our first crossing at the intersection of food and real estate. Mr. Turner developed one of the first "AgriHood" communities in the Southeast, where food and farming become a central feature of a new residential neighborhood.

About the Farm

Creekside Farm is a 50-acre farm that operates a successful CSA (community supported agriculture) program and grows organic vegetables, corn, soybeans, pasture raised chickens and grass-fed beef. The farm is a living laboratory where companies can meet and collaborate in a real-world setting, and that can help them grow faster.



WHY IT MATTERS

SOLVING THE WORLD'S MOST IMPORTANT CHALLENGES.

AgTech plays a critical role in increasing productivity, reducing sustainability risks and ensuring food security for a growing global population.



INCREASE PRODUCTION

Advanced technologies maximize yields and strengthen food systems.



IMPROVE SUSTAINABILITY

Data-driven solutions reduce environmental impact and conserve resources.



CREATE FOOD SECURITY

Diversified agriculture ensures a more secure and equitable food supply.



DRIVE GLOBAL IMPACT

Solutions grown in Western NC can change communities and strengthen economies worldwide.



BUILD A HEALTHIER FUTURE

Better food, better lives, and a stronger next generation.



PRECISION AGRICULTURE



GPS
GUIDANCE



FIELD
ANALYTICS



VARIABLE
RATE

SOIL & CROP ANALYTICS



SOIL
HEALTH



NUTRIENT
DATA



YIELD
INSIGHTS

This is the Future of Food In America



FLETCHER TECHNOLOGY PARK

APPLIED AGTECH INNOVATION CAMPUS

**BUILDING A RESILIENT FOOD SYSTEM.
CREATING LASTING VALUE.**



INNOVATION

Driving Applied
AgTech Solutions



SUSTAINABILITY

Advancing a Resilient
Food Future



COMMUNITY

Building Prosperity
Together



GROWTH

Delivering Strong
Long-Term Returns

DEVELOPED BY



LEADERSHIP

ROBERT E. TURNER

Founder & Managing Member
AgTech Expert • Author • Developer

roberteturner.com

CONTACT



828.551.0850



turnerrobert10@gmail.com



www.EatYourView.com



Fletcher, North Carolina

FLETCHER, NORTH CAROLINA.
AT THE CENTER OF AGRICULTURE. AT THE FOREFRONT OF INNOVATION.

**Public Works Department
Monthly Report
AUGUST 2026**

Brush Pick Up

Public Works collected 387 brush orders which produced 396 Cyds of brush.

Vehicles

Public Works has created a PO for the new garbage truck, and it has been ordered. We are looking at 100–120-day turn-around for delivery.

Public Works has created a for the new sweeper truck. It has been ordered and we are also looking at 100-120-day turn-around.

Public Works performed service on five Public Works vehicles, four police cars and 4 Parks & Rec vehicles.

Sanitation

Public Works collected 171.12 tons of garbage for a daily average of 7.78 tons.

Public Works collected 12 white goods.

Stormwater

Stormwater requests have increased dramatically. Public Works received two new requests. One will require extensive work. It is in the Wildwood area.

I have spent over 19 hours during the month of August with either on site visits, e-mails, phone calls or collecting data.

Fletcher Parks & Recreation Department

Monthly Report – August 2026

Programs & Events

Fletcher Community Farmers Market

We wrapped up the final Farmers Market of the season on August 25th. The market ran for 15 weeks and provided great opportunities for community engagement. We had a strong group of vendors throughout the season. A vendor survey was sent out to gather feedback and identify improvements for next year's market.

Art in the Park

Art in the Park was held at Bill Moore Community Park on August 14th. Twenty participants enjoyed an evening of relaxing and inspiring painting, creating a beautiful mountain scene on canvas with local artist Bethany Joy.

Pickleball

Our pickleball programming continued to grow during August. We completed a four-week advanced beginner ladies pickleball league, with Dana finishing first, Amy second, and Lori third. We also continued open play opportunities and worked with Coach Katie on upcoming intermediate ladies pickleball programming.

Facilities & Maintenance

Stream Bank Repair

A portion of the streambank was damaged by a storm. Bradley and Conner Grading completed repairs to the slope failure along Cane Creek. The repaired area looks great and has been restored.

Bill Moore Community Park & Kate's Park

Our maintenance team continues to do an outstanding job keeping both parks clean, safe, and welcoming for residents and visitors. Their dedication ensures our facilities remain in excellent condition throughout the busy summer season.

August Maintenance Projects Completed:

- Pressure washed park shelters on a weekly basis.
- Mowed park grounds five days per week.
- Blew debris from sidewalks, trails, and playground areas.

- Conducted routine playground safety inspections.
- Prepared ballfields and dugouts for the upcoming baseball/softball season.
- Removed debris from the back trail.
- Ordered supplies and prepared facilities for the upcoming fall baseball and softball season.
- Pressure washed Parks & Recreation equipment weekly.

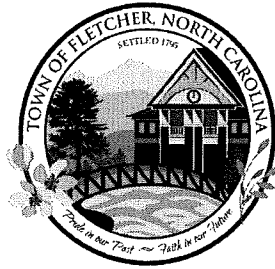
Park Cameras & Security

Staff continued working with Matthew regarding the park camera system. Three cameras are currently not working. A meeting is being coordinated to discuss the current monitoring system, camera setup, and future use of the cameras at the park.

TOWN OF FLETCHER

PRESTON BLAKELY
MAYOR

MARK E. BIBERDORF
TOWN MANAGER



COUNCIL MEMBERS:
TREVOR LANCE
JIM PLAYER
KEITH REED
AMBER MCKINNEY

Planning & Zoning Department Monthly Update- August 2026

- ❖ The Planning Board did not hold a meeting in August due to a lack of agenda items.
- ❖ Tyler attended the French Broad River Metropolitan Planning Organization Technical Coordinating Committee meeting, where transportation planning initiatives and regional transportation priorities were discussed.
- ❖ Tyler met with representatives from the North Carolina Department of Environmental Quality and Fernleaf Environmental Consulting regarding the State's Flood Resiliency Blueprint. This statewide initiative is intended to identify, prioritize, and potentially fund projects that improve flood resilience across North Carolina. The meeting focused on existing flood mitigation efforts within Fletcher and identifying potential future projects that could be eligible for funding. Staff provided five potential projects for consideration, with three identified as the Town's top priorities.
- ❖ The Town's Technical Review Committee reviewed a site plan for a proposed Firestone Auto Care to be located in the parking lot south of United Federal Credit Union. Comments from TRC members were minimal overall. The project is expected to go before the Planning Board in September for Heart of Fletcher review if all comments are addressed and revised plans are submitted in time.
- ❖ Tyler attended the Asheville Regional Housing Consortium meeting, where regional partners discussed challenges surrounding affordable and attainable housing. The conversation focused on barriers to housing development and ways local governments can help improve housing availability for residents across the region.
- ❖ Tyler and Mark visited Birkdale Village in Huntersville and Patrick Square in Clemson to meet with developers and local government staff who were involved in reviewing and bringing those projects to life. Each location took a different approach to mixed use development, but there were elements from both that could be incorporated into Fletcher's Town Center vision. It was a great opportunity to hear directly from the individuals involved in these projects and better understand what worked well, what did not, and what lessons could be applied in Fletcher. Mark was instrumental in coordinating the visits and helping make them a success.